


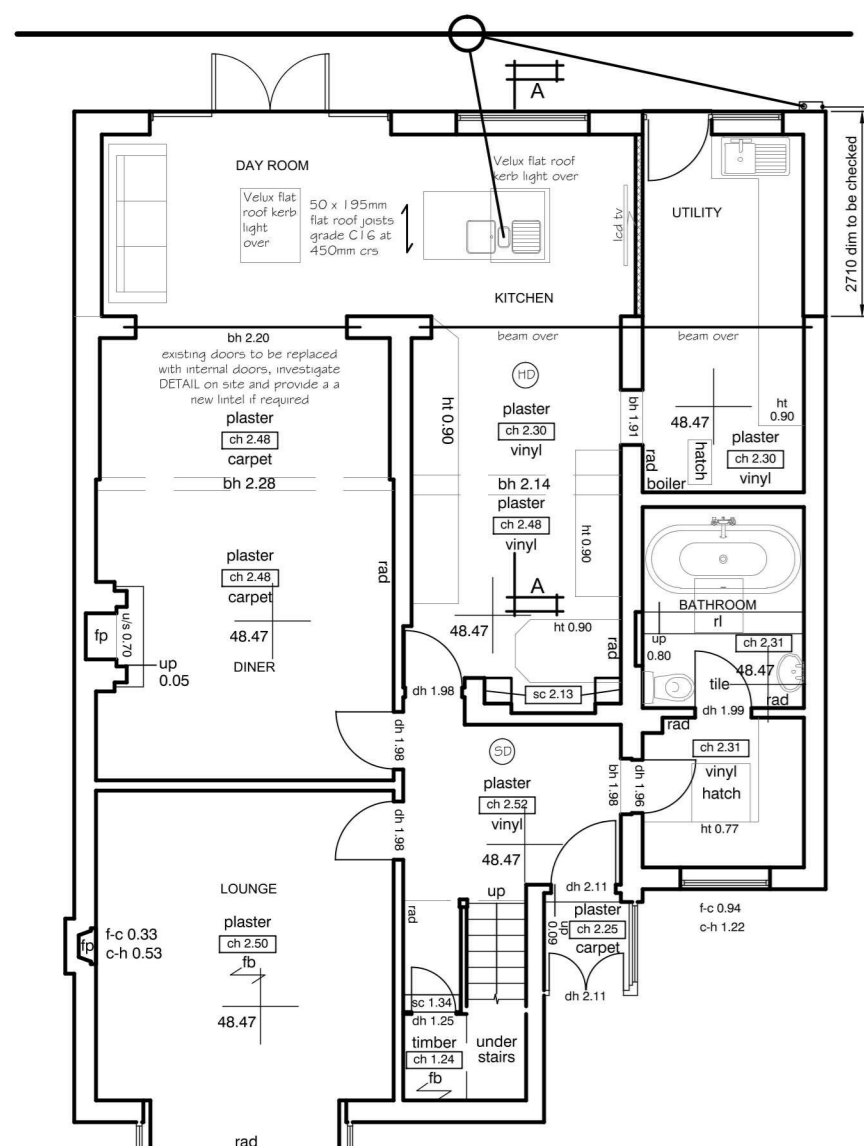
REFERENCE NUMBER:
HH/2017/2360

SITE:
9 FLETCHAMSTEAD HIGHWAY

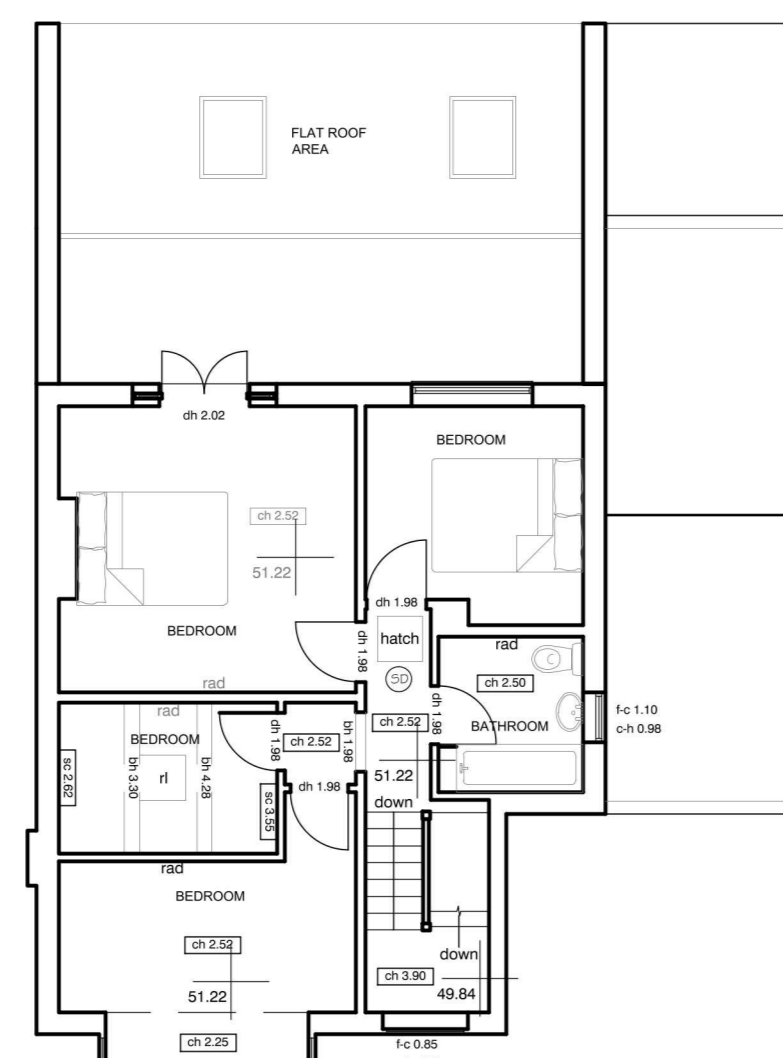
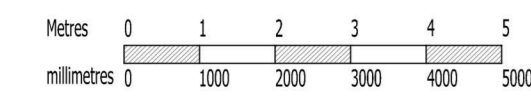


NORTH

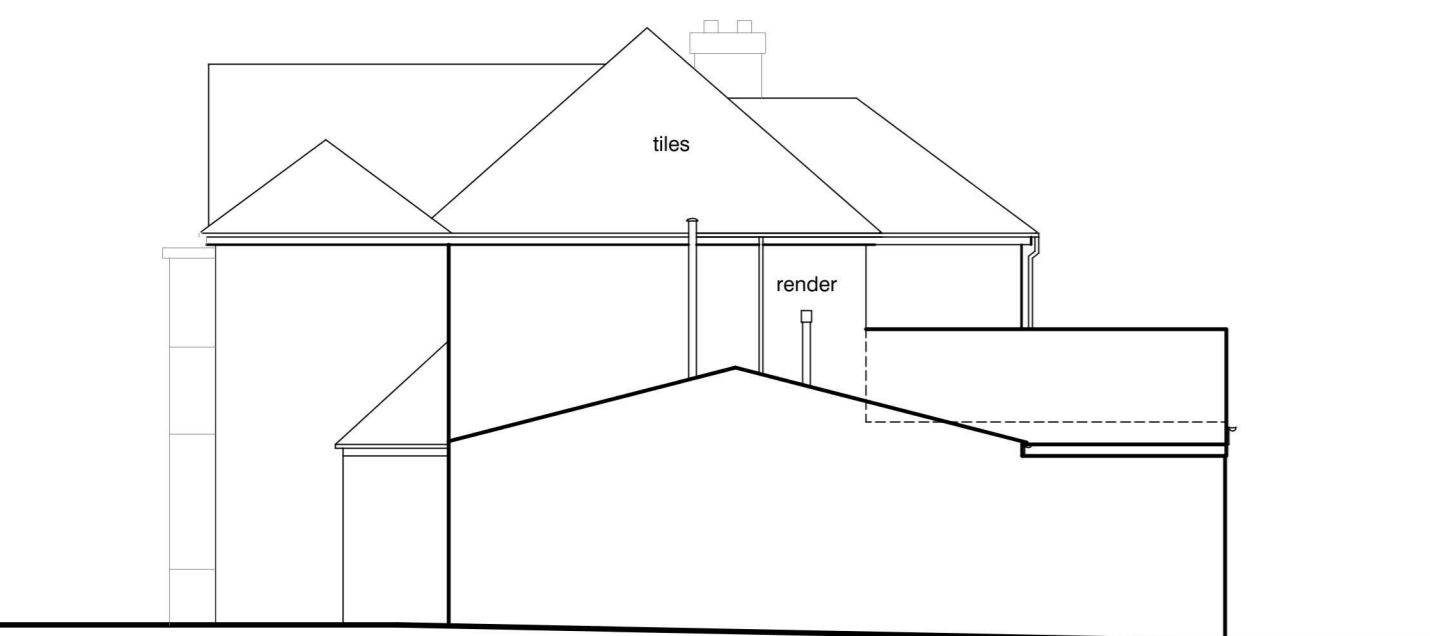




EXISTING GROUND FLOOR PLAN



EXISTING FIRST FLOOR PLAN

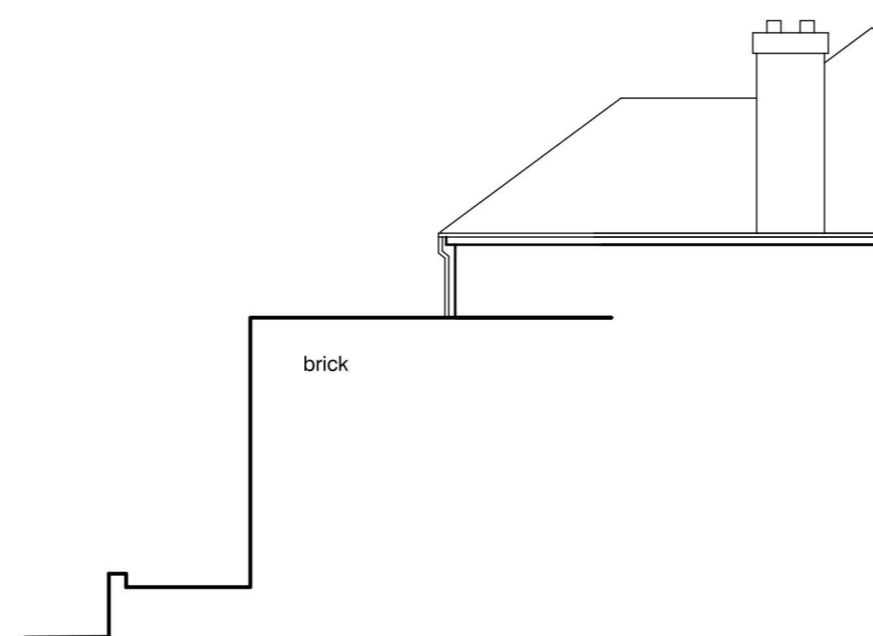


EXISTING SIDE ELEVATION

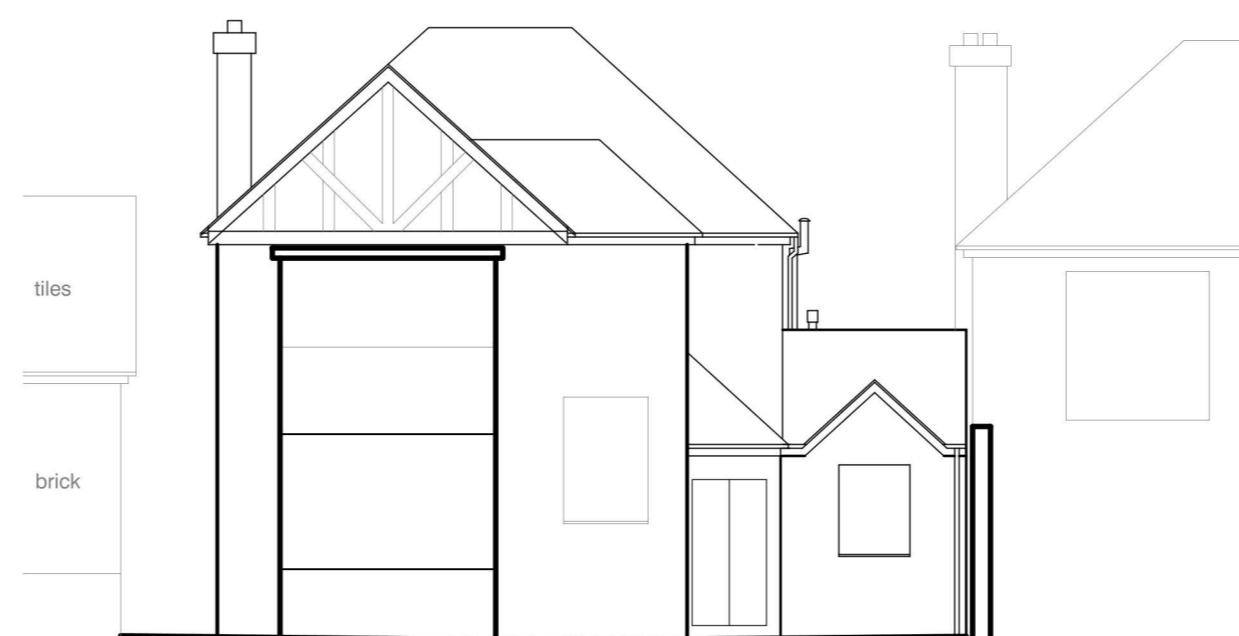
datum 47.00m



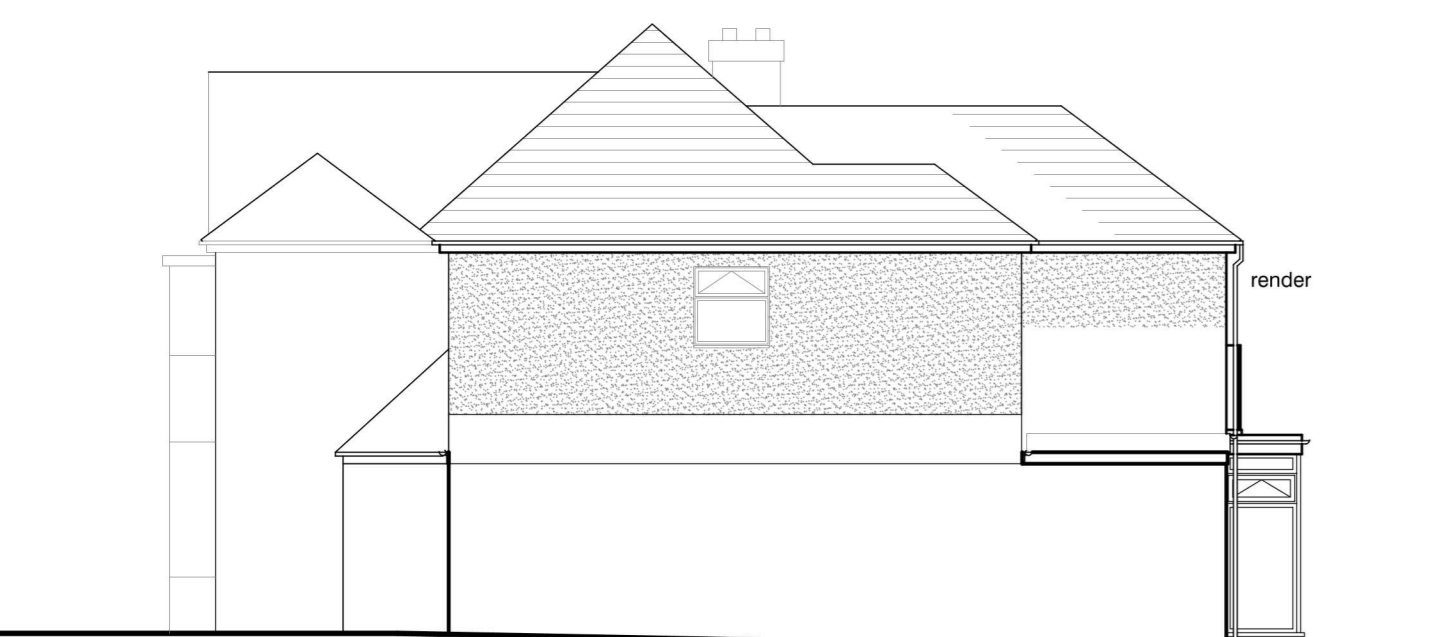
EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION



EXISTING FRONT ELEVATION



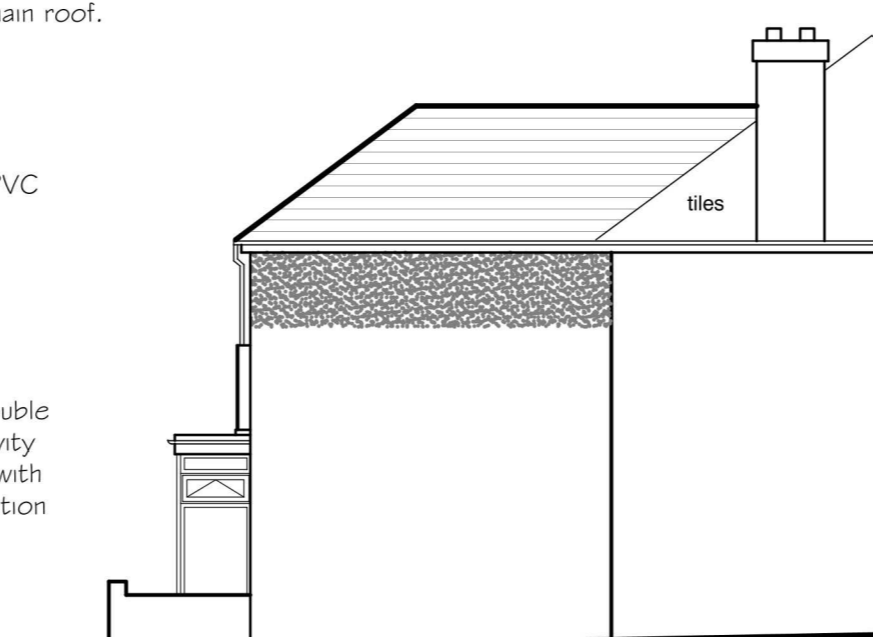
PROPOSED SIDE ELEVATION

datum 47.00m

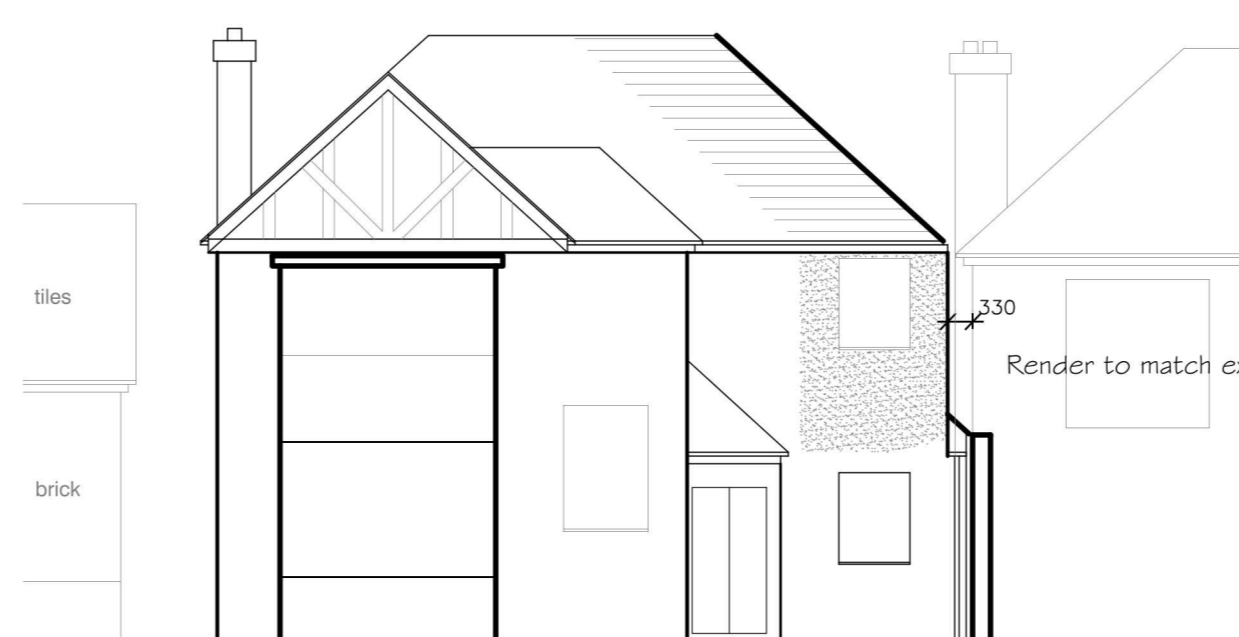


PROPOSED REAR ELEVATION

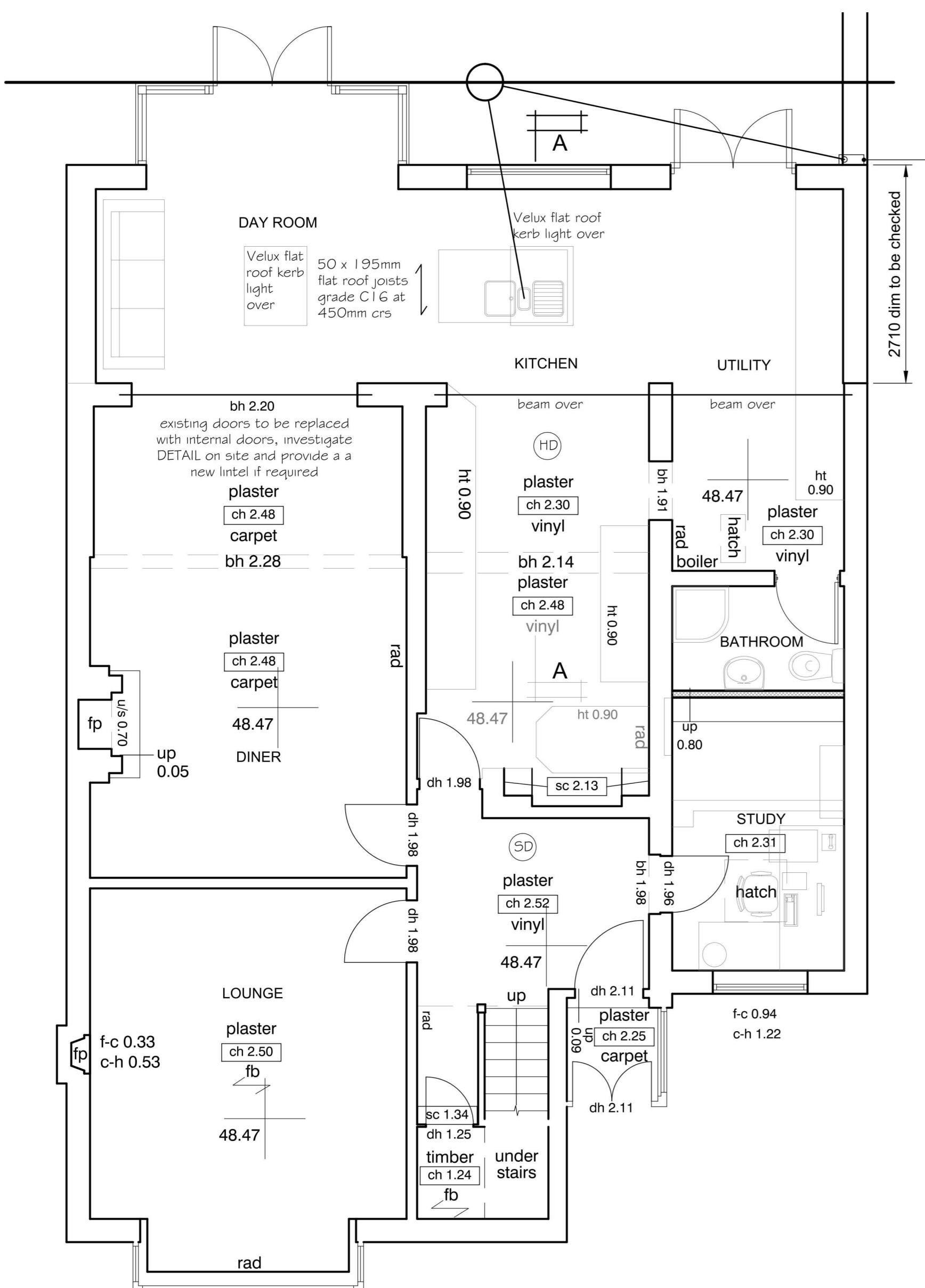
Roof tile colour to match existing main roof.
Rainwater goods 105 half round uPVC gutter with 63mm Ø downpipe's to match existing.
Render to match existing.
Juliet balcony
Windows and doors to be uPVC double glazed. Windows to have 16mm cavity and soft low e coating. To comply with part L of the current building regulation standards. All glazing to BS6206.
DPC (min 150mm above GI) Ground Level



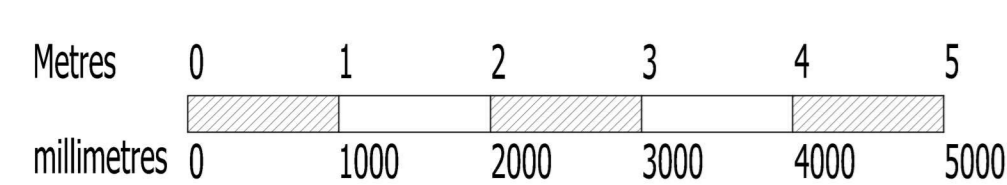
PROPOSED SIDE ELEVATION



PROPOSED FRONT ELEVATION



PROPOSED GROUND FLOOR PLAN



All new drainage connections to be on existing pre formed runs as found on site.
All new drainage connection to be in the direction of flow.
All new connections to be on existing runs.
Drainage system, as checked as per drainage survey.
All drainage run and flow / depth to be checked on site.
All foundations to be taken down to invert level when adjacent to drain.
All new drainage run installations to be approved by Local Authority.
All drainage runs to have rod access where possible.
New back inlet gully (B.I.G.) to have rod access.
Drainage to be trapped and sealed at source, rod access at rear of toilet, and to have adequate falls to existing drainage. Suitable gullies and stubs to be used, approved by Local Authority prior to installation.

Keystone lintels - min 150mm end bearing either side. Installed to manufacturers details and specification.
Or steel to structural engineers details as shown on structural engineers calculations.
ALL Windows to have opening lights to equal 1/20th of the floor area that they serve.
Note All new windows to have Double glazing (low-e, en 0.05, Argon filled)
New windows and door to have 16mm cavity and soft low e coating. To comply with part L of the current building regulation standards. Windows and doors to achieve 1.0 U value. All glazing to BS6206.

All - lightweight TIMBER stud partition to be adequately filled with rockwool fibre or similar to reduce sound. It is recommended that double joints are to be used at the sole of the timber stud wall.

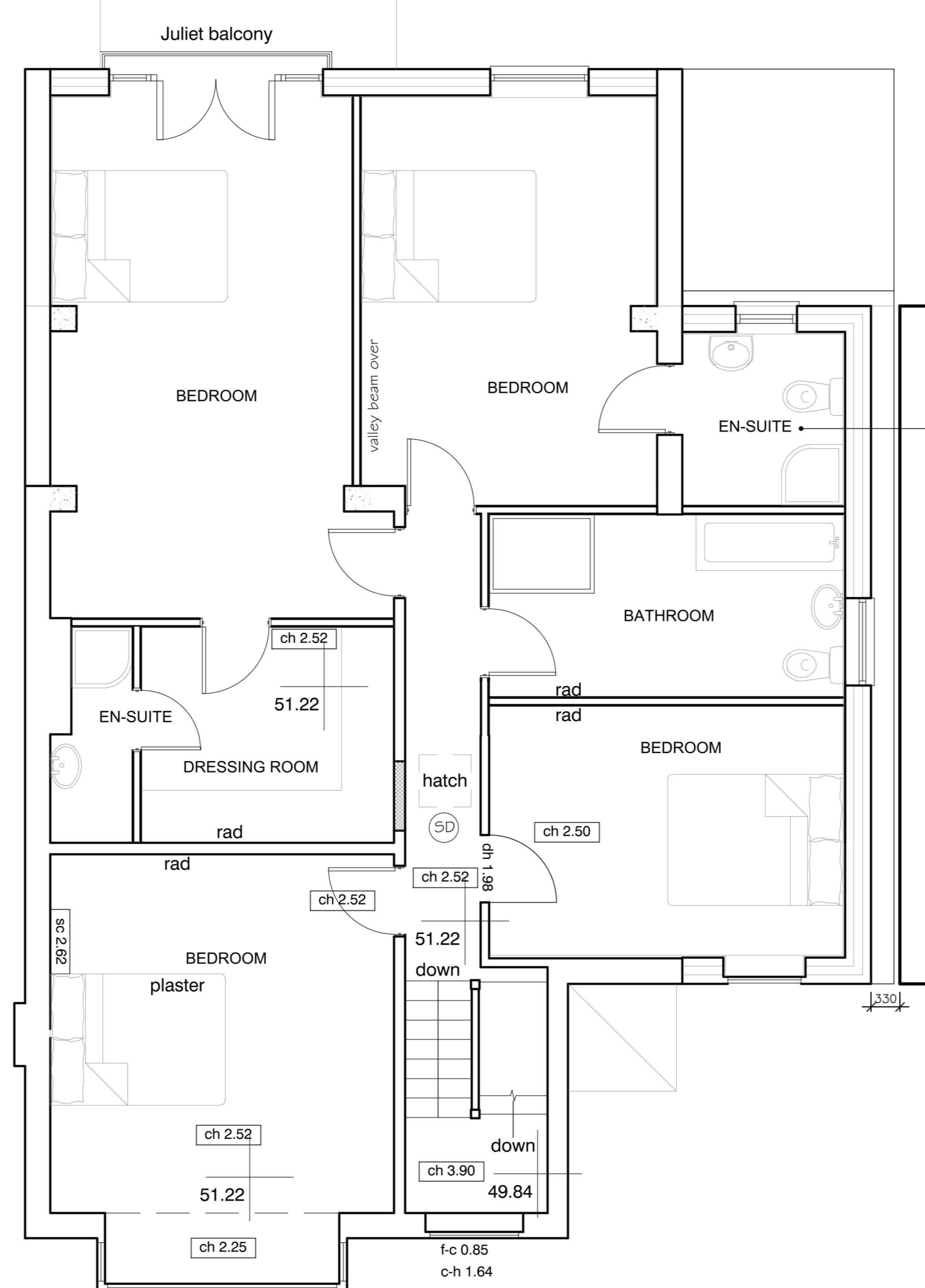
All habitable rooms to be provided with trickle ventilation 5000mm sq, minimum, incorporated within all window / door frames.

Heating specification if replaced:
Gas condensing boiler to be a min rating - SEDBUK A efficiency rating. All new radiators will be fitted with thermostatic radiator valves. (L1)
Installation by GAS SAFE registered installer for gas.

Provide switches and socket outlets for lighting and other equipment in habitable rooms at appropriate heights between 450mm and 1200mm from fresh floor level.

Main operated smoke detectors to be provided on the upper landing of the first floor.
Main powered, interlinked smoke detection (with battery back up).
Smoke / heat detection to comply with BS5446 & installation to BS5839.

FIRE PLAN KEY
HEAT DETECTION
SMOKE DETECTION



PROPOSED FIRST FLOOR PLAN

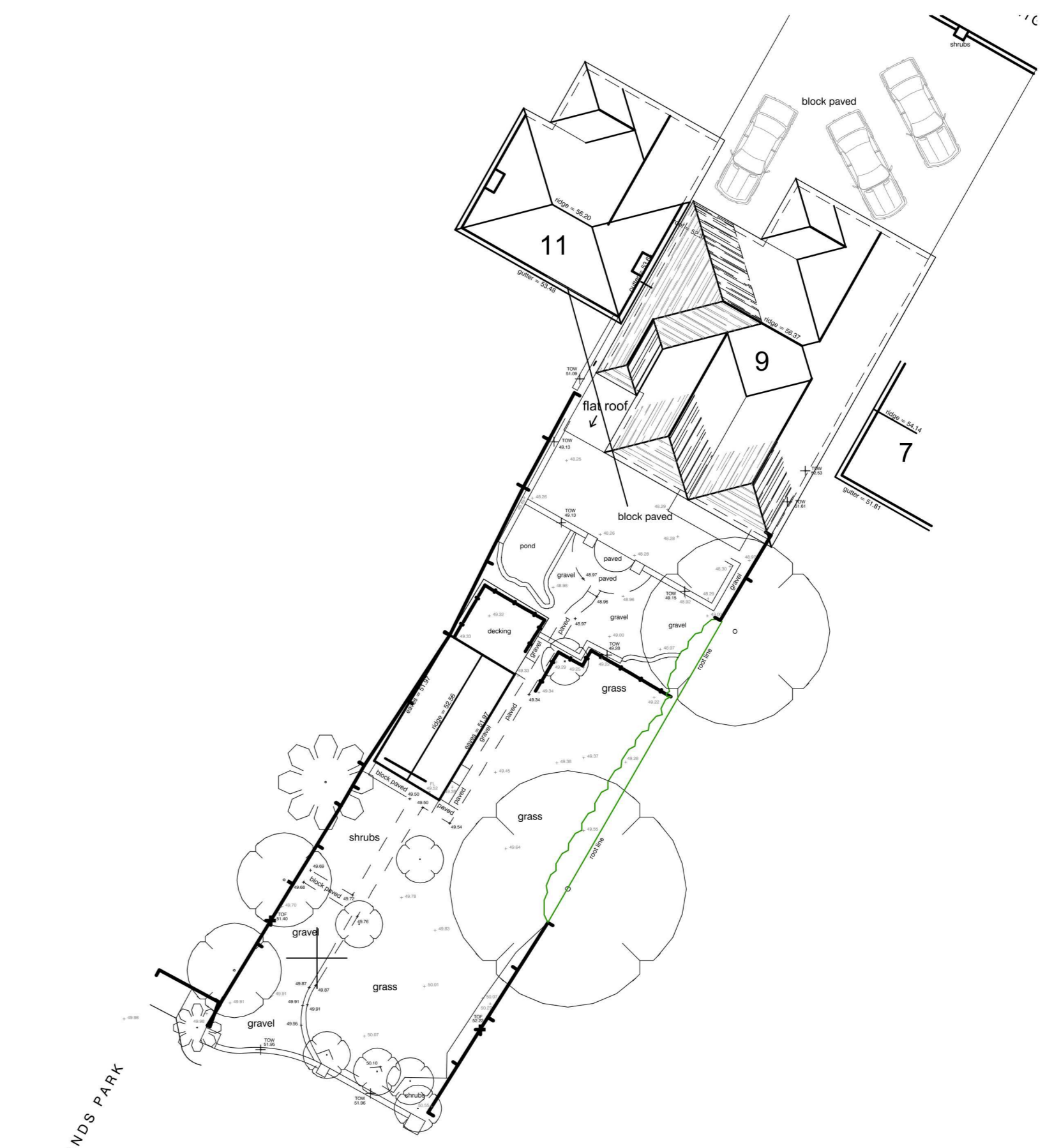
Competent person to be used for the installation of below:
GAS SAFE registered installer for gas. (Condensing boiler heating system)
FENSA registered installer for glazing.
To ensure the work is carried out in compliance with Building Regulations you should ask the installer for one of the following:
Benchmark Certificate for Central Heating a GAS SAFE installer should be asked to leave a Benchmark certificate at the end of their work in your house.
Certificate from FENSA for glazing if you choose a company registered with FENSA (Fenestration Assessment Scheme), a certificate will be supplied by the FENSA database. A certificate of compliance will also be forwarded to your Local Authority.
A completion certificate from the Building Control body.

En suite room to be provided with a mechanical extract fan rated at 1.5 litres per second, ducted to external air.

High efficiency light fittings, capable of only accepting lamps having a luminous efficacy greater than 40 lumens per circuit-watt, will be provided in rooms or circulation areas most frequently used, at a rate of 1 per 25m² of floor area or 1 per 4 fixed lighting fittings, whichever is greater. (L1)

All new radiators will be fitted with thermostatic radiator valves. (L1)
Ventilation comprising opening lights at least equal to 1/20th of the floor area of which they serve with some part thereof located at 1.75m above F.F.L. plus permanent background trickle ventilation of at least 5000mm sq, minimum, incorporated within all window / door frames.

All electrical work to be carried out to meet the requirements of part P of the Building Regulations 2005 by a person competent to do so. Prior to completion the council are to be provided with a copy of either:
1. An electrical installation certificate issued under a competent person scheme; or
2. An electrical installation certificate as defined in BS 7671 signed by a person competent to do so



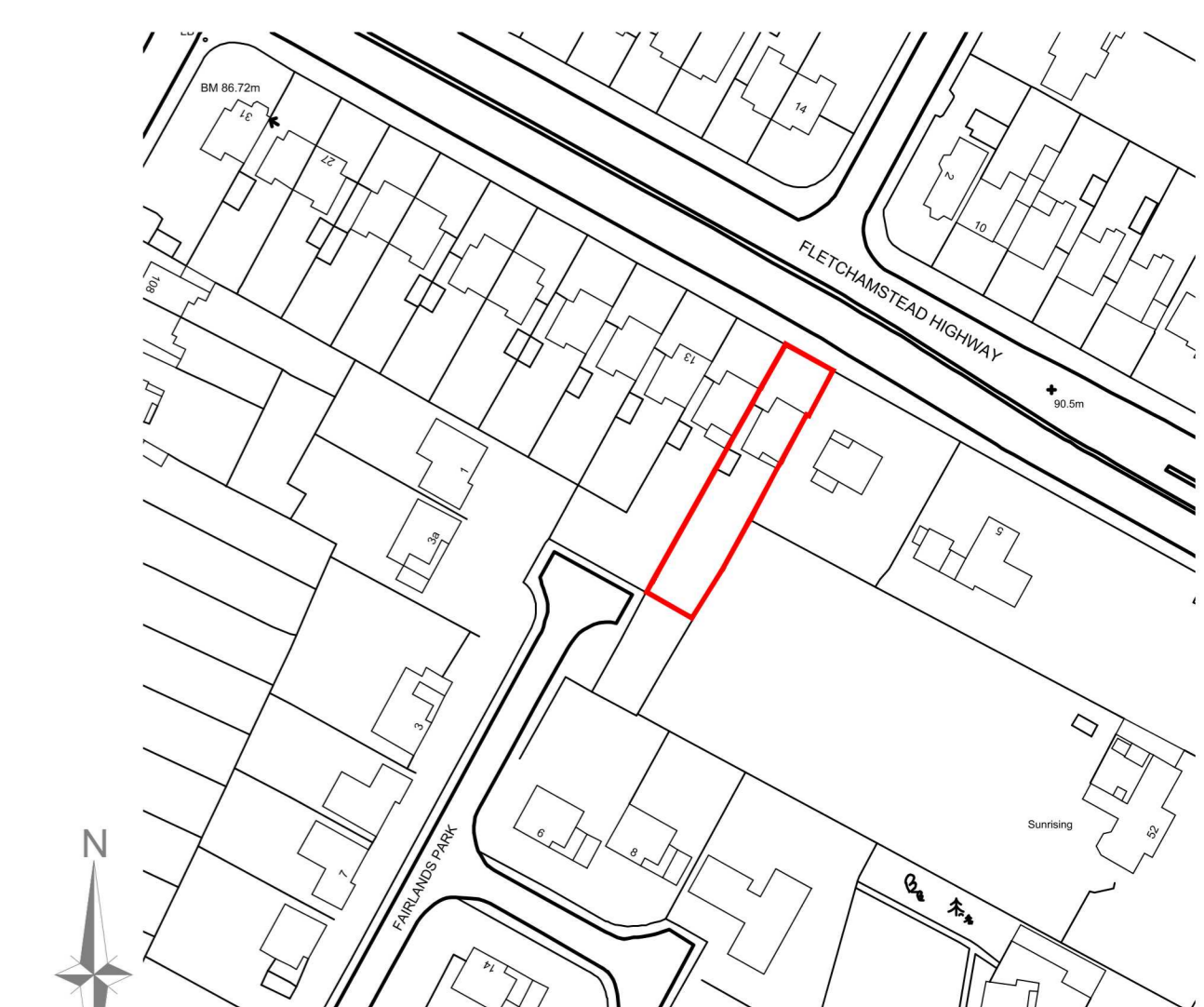
PROPOSED SITE BLOCK PLAN SCALE 1/200

THERE ARE NO TREES BEING AFFECTED BY THE PROPOSAL AND THE PLANS SHOWS AN INDICATION OF THE TREES ON SITE.

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Do not scale off this drawing - All dimensions and setting out to be verified on site. If in doubt contact the originator for clarification.

NOTES:



SITE LOCATION PLAN SCALE 1/1250

PLANNING				
Rev	Date	Description	By	Chkd
E	Dec 17	Traditional balcony replaced with Juliet balcony	JJ	
D	Nov 17	Revised - Rear elevation and floor plans	JJ	
C	Sept 17	Revised - First floor side extension shown at 330mm	SG	
B	Nov 16	Revised - Red line altered on site location plan	SG	
A	Oct 16	Revised - Front elevation shown, information updated.	SG	

Drawing status:	Preliminary	For Approval	For Construction
Client:	For Tender	For Comment	For Record

Consultant ARCHITECTURAL CONSULTANTS 1160 Elkett Court, Herald Avenue, Coventry CV5 6UB t: 01789 540954 www.spg-design.com		
Site Location 9 Fletchamstead Highway, CV4 7AW		
Project Title: First floor rear and side extension		
Drawing Title: Existing and Proposed drawings		
Project No: 7098	Draw No: 01	Revision: E
Drawn: SG / JJ	Scale: 1:50 1:100 @ AD	Date: Sep 2016
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